

Drain: PEBBLE BROOK DRAIN **Drain #:** 191
Improvement/Arm: VILLAGES AT PEBBLE BROOK - SECTION 4
Operator: JOH **Date:** 3-4-04
Drain Classification: Urban/Rural **Year Installed:** 1993

GIS Drain Input Checklist

- Pull Source Documents for Scanning JOH 3-4
- Digitize & Attribute Tile Drains N/A
- Digitize & Attribute Storm Drains JOH 3-4
- Digitize & Attribute SSD JOH 3-4
- Digitize & Attribute Open Ditch N/A
- Stamp Plans JOH 3-4
- Sum drain lengths & Validate JOH 3-4
- Enter Improvements into Posse JOH 3-4
- Enter Drain Age into Posse JOH 4-23
- Sum drain length for Watershed in Posse JOH 4-23
- Check Database entries for errors JOH 3-4

**Gasb 34 Footages for Historical Cost
Drain Length Log**

Drain-Improvement: PEBBLE BROOK DRAIN - VILLAGES AT PEBBLE BROOK - SECTION 4

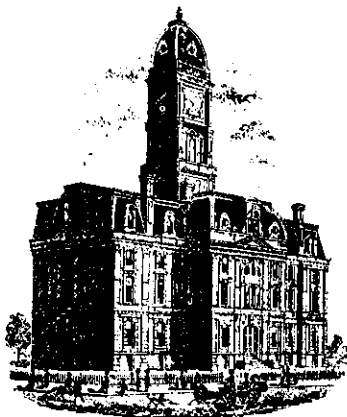
Drain Type:	Size:	Length <small>SURVEYOR'S REPORT</small>	Length (DB Query)	Length Reconcile	If Applicable	
					Price:	Cost:
SSD	6"	9,276'	6,476'	-2,800'		
RCP	12"	177'	177'	Ø		
	15"	350'	350'	Ø		
	18"	840'	840'	Ø		
	21"	510'	510'	Ø		
	24"	590'	590'	Ø		
CMP	8"	20'	20'	Ø		

Sum: 11,763' 8,963' -2,800'

Final Report: _____

Comments:

SR AND AB DISAGREE ON 6" SSD LENGTH.



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Suite 146

776-8495

One Hamilton County Square

Noblesville, Indiana 46060-2230

September 1, 1993

To: Hamilton County Drainage Board

Re: Pebble Brook Drain
Village at Pebble Brook, Sec. IV Arm

Attached is a petition, non-enforcement request, plans, calculations, quantity summary and assessment roll for the Villages at Pebble Brook, Section IV Arm of Pebble Brook Drain. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

6" SSD	9148'	18" RCP	1339'
12" RCP	177'	21" RCP	510'
15" RCP	350'	24" RCP	590'

The total length of the drain will be 12,114 feet.

The retention pond (existing lake) located on the golf course in the rear of lots 130-136 and 149-151 is not to be considered part of the regulated drain. Only the inlet, outlet and open ditch will be maintained as part of the regulated drain. The maintenance of the pond (lake) will be the responsibility of the Homeowners Association. The Board will however, retain jurisdiction for ensuring the storage volume for which the lake was designed will be retained. Thereby, allowing no fill or easement encroachments.

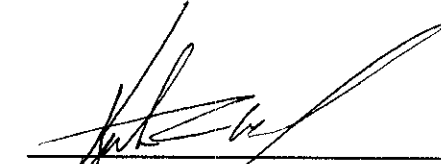
The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines between lots or in rear yards. Only the main SSD lines which are located within the easement are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain. The portion of the SSD which will be regulated other than those under curbs are as follows: Rear lots 67, 68, 70-76, Lots 79-84, 142-148, 119-124, 129, 130, 135-138, 139 & 140.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$20.00 per lot, \$2.00 per acre for roadways, with a \$20.00 minimum. With this assessment the total annual assessment for the drain this section will be \$1292.00.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. This request is for the reduction of the regulated drain easement to those easement widths as shown on the secondary plat for The Villages at Pebble Brook Section 4, as recorder in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for November 1993.



Kenton C. Ward,
Hamilton County Surveyor

KCW/jn

Irrevocable Letter of Credit

INB National Bank
One Indiana Square
Indianapolis, Indiana 46266



INB.

Date: August 18, 1993bj

SWIFT Address: INBI US 44 Telex Number 205615 Phone: 266-6153	INB NO. SB 036235	Credit Number Advising Bank No.
Advising Bank	Applicant The Villages at Pebble Brook, L.P. P.O. Box 277 Carmel, IN 46032	
Beneficiary Hamilton County Board of Commissioners One Hamilton County Square Noblesville, IN 46060	Amount USD 26,721.00	Expiration Date August 18, 1994

We hereby issue in your favor this irrevocable letter of credit which is available against the following documents:

Drafts drawn at— sight

on INB National Bank, Indianapolis, Indiana

bearing the clause; "Drawn under irrevocable letter of credit No. **SB 036235**

Other documents:

Beneficiary's signed certificate stating that the applicant has failed to construct the necessary subsurface drains at the Villages at Pebble Brook Subdivision, Section IV.

Special Conditions:

except so far as otherwise expressly stated, this documentary credit is subject to the Uniform Customs and Practice for Documentary Credits (1983 Revision) International Chamber of Commerce (Publication No. 400)

<p>We hereby engage with <input checked="" type="checkbox"/> You <input type="checkbox"/> drawers and/or bona fide holders that drafts drawn and negotiated in conformity with the terms of this credit will be duly honored on presentation and that drafts accepted within the terms of this credit will be duly honored at maturity.</p> <p>The amount of each draft must be endorsed on the reverse of this credit by the negotiating bank.</p> <p>This document is void unless countersigned by the issuing bank. XXXX</p> <p style="text-align: center;">Very truly yours,</p> <p style="text-align: center;"><i>Stephen M. Hatcher</i></p> <p>This copy printed from the Digital Archive of the Hamilton County Surveyor's Office; One Hamilton Co. Square, Ste. 188, Noblesville, In 46060</p>	<p>Advising Bank's Notification</p> <p>Place/date/name/signature of advising bank</p>
---	---

2 135 210 447 3

Irrevocable Letter of Credit

INB National Bank
One Indiana Square
Indianapolis, Indiana 46266



INB

Date: July 14, 1993bj

SWIFT Address: INBI US 44 Telex Number 205615 Phone: 266-6153		INB NO. SB 036188	Credit Number Advising Bank No.
Advising Bank	Applicant The Villages at Pebblebrook L.P. P.O. Box 277 Carmel, Indiana 46032		
Beneficiary Hamilton County Board of Commissioners One Hamilton County Square Noblesville, Indiana 46060	Amount USD 88,821.00		
	Expiration Date July 10, 1994		

We hereby issue in your favor this irrevocable letter of credit which is available against the following documents:

Drafts drawn at— sight
on INB National Bank, Indianapolis, Indiana

bearing the clause; "Drawn under irrevocable letter of credit No. **SB 036188**
Other documents:

Beneficiary's signed certificate stating that the applicant has failed to construct the necessary storm sewers, sign monuments and markers at The Villages at Pebblebrook L.P. Subdivision Section IV.

Special Conditions:

036188

Except so far as otherwise expressly stated, this documentary credit is subject to the Uniform Customs and Practice for Documentary Credits (1983 Revision) International Chamber of Commerce (Publication No. 400)

<p>We hereby engage with <input checked="" type="checkbox"/> You <input type="checkbox"/> drawers and/or bona fide holders that drafts drawn and negotiated in conformity with the terms of this credit will be duly honored on presentation and that drafts accepted within the terms of this credit will be duly honored at maturity.</p> <p>The amount of each draft must be endorsed on the reverse of this credit by the negotiating bank.</p> <p>The Advising Bank is requested to notify the beneficiary without delay in the event of dishonor.</p>	Advising Bank's Notification
	<p>Very truly yours, <i>William M. Hatcher</i> This copy printed from the Digital Archive of the Hamilton County Surveyor's Office; One Hamilton Co. Square, Ste. 188, Noblesville, In 46060 Place/date/name/signature of advising bank.</p>

Engineering
Surveying
Landscape Architecture
Digital Mapping

HAMILTON COUNTY DRAINAGE BOARD
CERTIFICATE OF COMPLETION AND COMPLIANCE

Address of premises on which land alteration was accomplished: Approximately 1300' north of the intersection State Road 32 and Moontown Road, Hamilton County, Indiana (part of West Half of Section 33, Township 19 North, Range 4 East, Noblesville Township)

Project Name: Villages at Pebblebrook Section 4

Relative to plans prepared by MSE Corporation on March 24, 1993.

I hereby certify that:

1. I am familiar with drainage requirements applicable to such land alteration (as set forth by the Hamilton County Drainage Board).
2. Land alteration accomplished pursuant to the referenced drainage permit was observed by personnel under my direction, and
3. To the best of my knowledge, information and belief, such land alteration has been performed and completed in conformity with all such drainage requirements.

Certified this 7th day of December, 1995.

MSE CORPORATION



Jeffrey A. Meyerrose
Registered Land Surveyor #890003 - Indiana





SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 146

One Hamilton County Square

Noblesville, Indiana 46060-2230

October 31, 1996

To: Hamilton County Drainage Board

**Re: Pebble Brook Drain - Villages at
Pebble Brook Sec. 4 Arm**

Attached are as-builts, certificate of completion & compliance, and other information for Villages at Pebble Brook Sec. 4. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain which will alter the plans submitted with my report for this drain dated September 1, 1993. The changes are as follows:

The corrected total of 18" RCP is 840' feet. There was 20' feet of 8" CMP added to the 6" SSD located in the rear of lots 129 to 130. 6" SSD was added across the rear of lots 125 and 126 for an additional 128' feet.


The length of the drain due to the changes described above is now **11,763 feet**.

The non-enforcement was approved by the Board at its meeting on November 22, 1993.

The bond or letter of credit from INB, number S036188 for storm sewers and monuments and markers, number S036235 for subsurface drains dated July 14, 1993 and August 18, 1993, in the amount of \$88,821.00 and \$26,721.00, was released on January 8, 1996.

I recommend the Board approve the drains construction as complete and acceptable.

Sincerely,



Kenton C. Ward,
Hamilton County Surveyor

CONSTRUCTION PLANS FOR THE VILLAGES AT PEBBLE BROOK SECTION IV

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	SPECIFICATIONS
3-4	SITE DEVELOPMENT PLAN
5-7	STREET PLAN AND PROFILES
8-10	SANITARY SEWER PLAN AND PROFILES
11-12	STORM SEWER PLAN AND PROFILES
13	INTERSECTION DETAIL SHEET
14	EROSION CONTROL PLAN
15-16	DETAILS

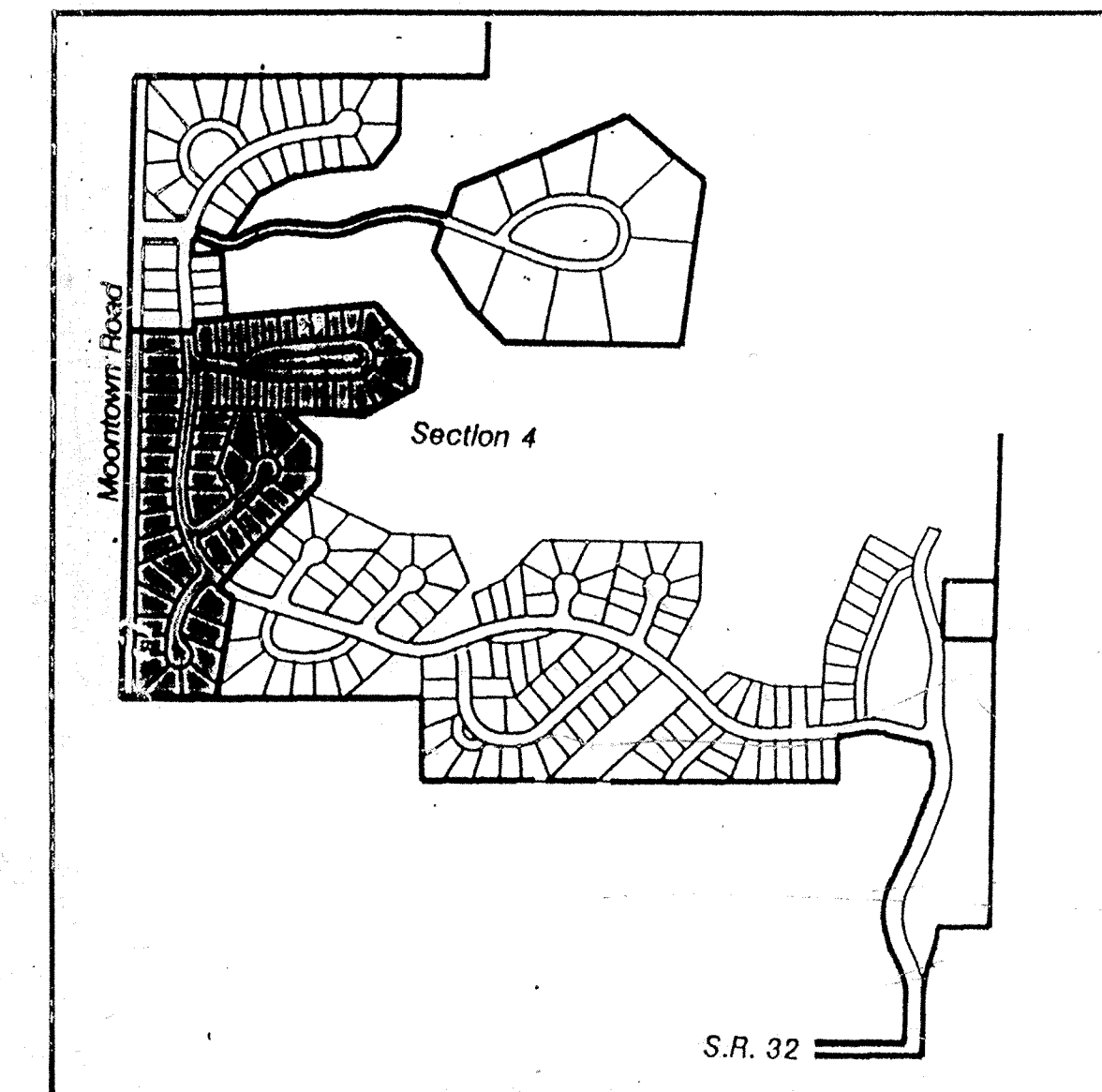
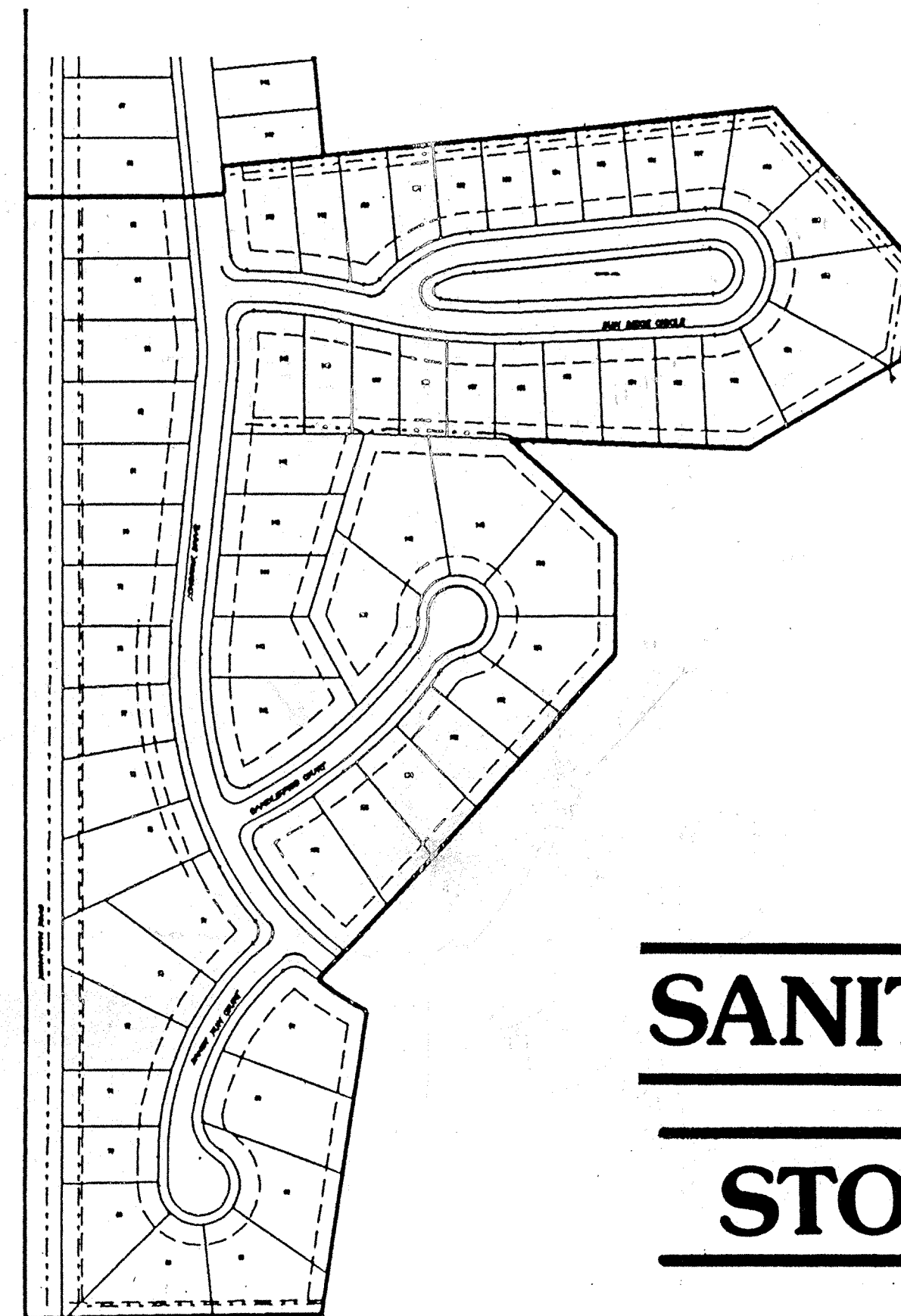
SHEET NO.	REVISIONS
3-13	5/12/93 See Sheets
4, 15, 16	5/27/93 See Sheets
3	6/1/93 See Sheet
14	6/14/93 See Sheet
3, 4	6/17/93 SEE SHEET
12	6/17/93 SEE SHEET
3, 4, 16	6/18/93 See Sheet
3	6/21/93 See Sheet
3, 4, 16	8/13/93 See Sheets
16	See Sheet 8/25/93
16	8/26/93 See Sheet

LAST REVISION DATE: 5/12/93 5/27/93 6/1/93 6/14/93 6/17/93 6/18/93
6/21/93 8/13/93 8/26/93

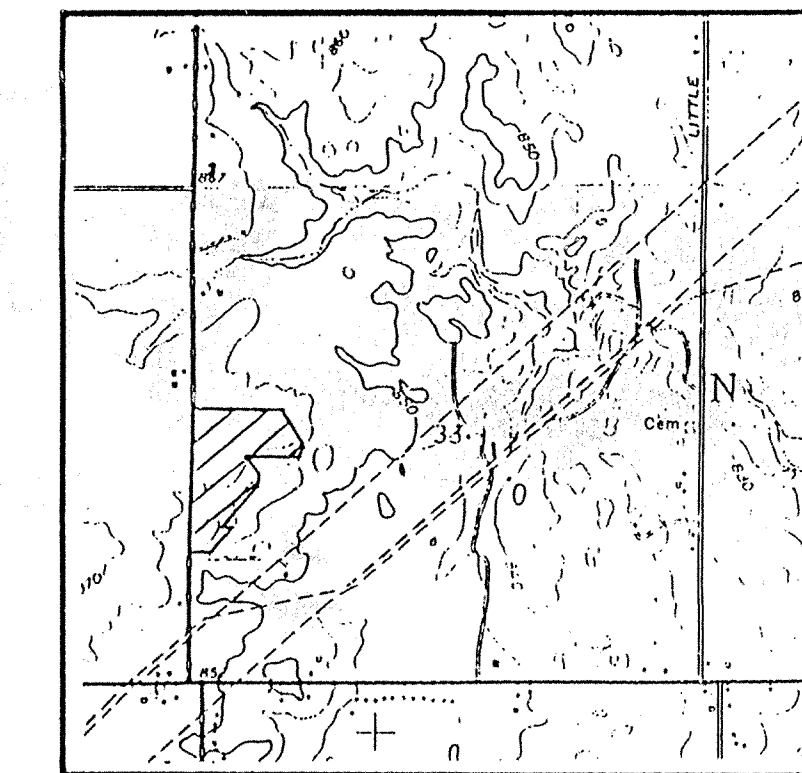
NOTES:

CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PERMIT ISSUING AGENCIES WITHIN THE TIME FRAME SPECIFIED BY THAT AGENCY PRIOR TO BEGINNING CONSTRUCTION.

ANY ALTERATIONS TO THESE PLANS NOT AUTHORIZED BY MSE ENGINEERING AND NOT IN ACCORDANCE WITH THE PLANS AND RECORDS ON FILE AT MSE ENGINEERING OFFICES SHALL RELIEVE MSE ENGINEERING OF RESPONSIBILITY FOR OVERALL ACCURACY OF PLANS.



SITE LOCATION



VICINITY MAP

SANITARY AS-BUILTS STORM AS-BUILTS

As-built information provided by MSE Corporation, certified this _____ day of _____, 1993.

Jeffrey A. Meyerrose
Registered Land Surveyor No. 890003 - Indiana

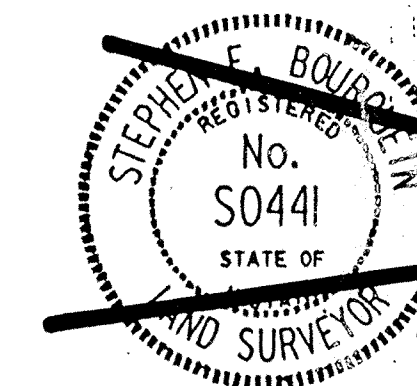
PLANS PREPARED FOR
THE ESTRIDGE DEVELOPMENT CO., INC.
148 WEST CARMEL DRIVE
INDIANAPOLIS, INDIANA 46032
PHONE: (317) 846-7311

MSE Engineering

MSE Corporation
501 Congressional Boulevard
Suite 110
Carmel, IN 46032
317 843-5080
317 843-5089 FAX

PROJECT DATA

ACRES : 21.43
LOTS : 61
LOTS / ACRE : 2.85



Certified
This 24th day of March

Stephen E. Bourquein
Registered Land Surveyor #S0441 - Indiana

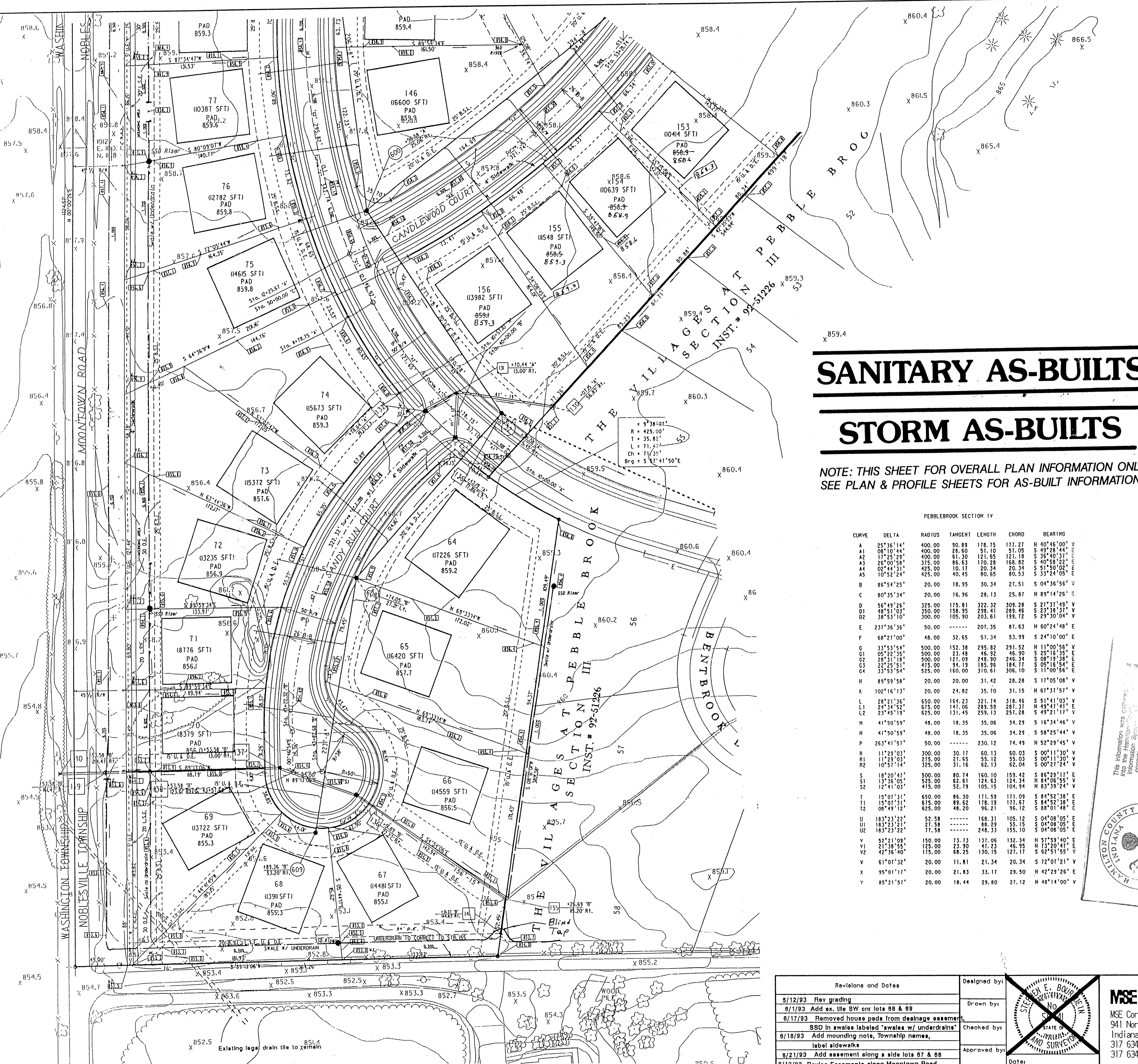


This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

Entry Date: 3-4-93

Entered by: JDH

1 of 8
SHEET / OF FILED
SEP 25 1996
OFFICE OF HAMILTON COUNTY SURVEYOR
JOB No. 114-0548



SANITARY AS-BUILTS

STORM AS-BUILTS

NOTE: THIS SHEET FOR OVERALL PLAN INFORMATION ONLY - SEE PLAN & PROFILE SHEETS FOR AS-BUILT INFORMATION

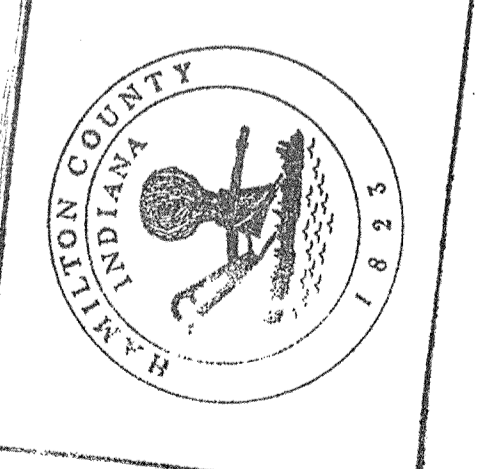
PEBBLEBROOK SECTION IV

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD	BEARING
A	25°36'14"	400.00	90.89	118.15	171.21	N 40°46'00" E
A1	08°10'44"	400.00	78.50	51.00	51.00	S 49°28'44" E
A2	17°25'29"	400.00	61.30	121.65	121.18	S 36°40'31" E
A3	26°00'58"	315.00	86.63	110.28	166.84	S 40°58'22" E
A4	02°44'31"	425.00	10.17	20.34	20.34	S 51°50'02" E
A5	10°52'24"	425.00	40.45	80.65	80.53	S 33°24'05" E
B	86°54'25"	20.00	18.95	30.34	21.51	S 04°36'56" V
C	80°35'34"	20.00	16.96	28.13	25.87	N 89°14'26" E
D	56°49'26"	325.00	115.81	322.32	308.28	S 27°31'49" V
D1	48°51'03"	350.00	158.95	298.41	298.41	S 23°38'37" V
D2	38°53'10"	300.00	105.90	203.61	199.72	S 29°30'04" V
E	237°36'36"	50.00	-----	207.35	81.63	N 60°24'48" E
F	68°21'00"	48.00	32.65	57.34	53.99	S 24°10'00" E
G	33°53'54"	500.00	152.38	295.82	291.52	N 11°00'56" V
G1	05°22'35"	500.00	23.48	46.96	46.90	S 25°16'35" E
G2	28°31'18"	900.00	121.09	248.30	246.34	S 08°19'38" E
G3	22°25'01"	415.00	94.19	185.89	184.77	S 05°16'54" E
G4	33°53'54"	525.00	160.00	310.61	306.10	S 11°00'56" E
H	89°59'58"	20.00	20.00	31.42	28.28	S 17°05'08" V
K	102°16'13"	20.00	24.82	35.70	31.15	N 61°31'57" V
L	28°17'36"	650.00	164.23	321.74	318.46	S 51°41'03" V
L1	24°34'52"	675.00	141.06	289.59	281.37	N 49°41'41" E
L2	23°45'19"	625.00	131.45	259.13	251.28	S 49°21'17" V
M	41°50'59"	48.00	18.35	35.06	34.29	S 16°34'46" V
N	41°50'59"	48.00	18.35	35.06	34.29	S 58°25'44" V
P	263°41'51"	50.00	-----	230.12	74.49	N 52°29'45" V
R	11°29'03"	300.00	30.17	60.33	60.03	S 00°11'30" V
R1	11°29'03"	275.00	27.65	55.12	55.03	S 00°11'30" V
R2	10°51'14"	325.00	31.16	62.13	62.04	S 00°27'24" V
S	18°20'41"	500.00	80.74	160.10	159.42	S 86°29'11" E
S1	13°16'05"	525.00	52.61	124.63	124.34	N 84°08'55" E
S2	12°41'03"	475.00	52.79	105.15	104.94	N 83°39'24" V
T	15°01'31"	650.00	86.30	171.59	171.09	S 84°52'38" E
T1	15°01'31"	675.00	89.62	178.19	171.67	S 84°52'38" E
T2	04°49'12"	625.00	46.20	96.21	96.12	S 08°01'48" E
U	183°23'22"	52.58	-----	168.31	105.16	S 04°08'05" E
U1	183°23'22"	51.58	-----	88.29	55.16	S 04°08'05" E
U2	183°23'22"	71.58	-----	248.33	155.10	S 04°08'05" E
V	52°21'09"	150.00	13.73	132.34	131.06	N 57°59'40" E
V1	21°38'55"	125.00	23.90	42.23	46.99	N 73°20'41" E
V2	42°16'40"	115.00	68.25	130.15	121.17	S 82°51'55" E
X	61°01'32"	20.00	11.81	21.34	20.34	S 72°01'21" V
Y	95°01'11"	20.00	21.83	33.17	29.50	N 42°29'26" E
Z	85°21'51"	20.00	18.44	29.80	21.12	N 48°14'00" V

STRUCTURE DATA TABLE

Structure No.	Structure Type	Casting (Neenah)
600	Sanitary Manhole w/Drop Pipe	R-1772-CV11
601	Sanitary Manhole	R-1772-CV11
602	Sanitary Manhole	R-1772-CV11
603	Sanitary Manhole	R-1772-CV11
608	Sanitary Manhole	R-1772-CV11
609	Sanitary Manhole	R-1772-CV11
610	Sanitary Manhole	R-1772-CV11
611	Sanitary Manhole	R-1772-CV11
612	Sanitary Manhole	R-1772-CV11
613	Sanitary Manhole	R-1772-CV11
614	Sanitary Manhole	R-1772-CV11
615	Sanitary Manhole	R-1772-CV11
616	Sanitary Manhole	R-1772-CV11
113	End Section	---
114	Inlet Type 'B' Modified	R-3516
115	Inlet Type 'B' Modified	R-3516
116	Inlet Type 'B' Modified	R-3516
117	Inlet Type 'B' Modified	R-3516
118	Inlet Type 'A'	R-4342
120	End Section	---
121	Manhole Type 'B'	R-4342
122	Manhole Type 'B'	R-4342
123	Inlet Type 'B' Modified	R-3516
124	Inlet Type 'B' Modified	R-3516
125	Manhole Type 'B'	R-1772-A
126	Inlet Type 'B'	R-4342
127	Inlet Type 'A'	R-4342
128	Inlet Type 'A' Modified	R-3516
129	End Section	---
130	Manhole Type 'B'	R-4342
131	Manhole Type 'B'	R-3516
132	Inlet Type 'B'	R-3516
133	Inlet Type 'A'	R-3501-N
136	Inlet Type 'B' Modified	R-3516
137	Inlet Type 'B' Modified	R-3516
138	Inlet Type 'B'	R-4342
139	Inlet Type 'B'	R-4342
140	End Section	---
142	End Section	---

This information was obtained into the Hamilton County Information System and is considered an official record.
 Entry Date: 7-2-99
 Entered by: JDB



LEGAL DESCRIPTION
 (The Villages of Pebble Brook Section IV)

A part of West Half of Section 33, Township 19 North, Range 4 East of the Second Principal Meridian, Noblesville Township, in Hamilton County Indiana, more particularly described as follows:

Beginning at the Southwest corner of the Northwest Quarter of said Section 33, Township 19 North, Range 4 East; thence North 00°00'00" West along the West line of said Northwest Quarter, 51.03 feet; thence South 89°59'34" East 194.21 feet; thence North 84°26'59" East 50.00 feet; thence North 05°33'01" West 35.15 feet; thence North 84°26'21" East 125.00 feet; thence North 83°51'56" East 559.90 feet; thence South 42°01'35" East 262.95 feet; thence South 08°25'28" West 114.56 feet; thence South 60°19'39" West 215.03 feet; thence North 86°02'16" West 295.44 feet; thence South 41°24'31" East 116.62 feet; thence South 00°05'30" West 144.91 feet; thence South 42°35'23" West 544.34 feet; to a point on a non-tangent curve concave Northwesterly having a central angle of 09°38'01" and a radius of 425.00 feet; thence Southeasterly along said curve an arc distance of 71.41 feet; thence curve being subtended by a chord having a bearing of South 51°41'50" East and a length of 11.39 feet; thence South 08°12'01" West 382.38 feet; thence South 89°13'06" West 364.26 feet to a point on the West line of the Southwest Quarter of said Section 33; thence North 00°00'26" West 567 feet along the West line of said Southwest Quarter 1324.51 feet to the Point of Beginning, containing 21.43 acres, more or less, subject to all highways, rights-of-way, and easements.

THE VILLAGES AT PEBBLEBROOK SECTION IV

FILED

SEP 25 1995

SITE DEVELOPMENT PLAN

Revisions and Dates	Designed by	Checked by	Approved by
5/12/93 Rev grading			
6/1/93 Add ex. tile SW enr lots 68 & 69			
6/17/93 Removed house pads from easement area. SSD in swales labeled 'swales w/ underdrains'			
6/18/93 Add mounding note, Township names, label sidewalks			
6/21/93 Add easement along a side lot 67 & 68			
6/19/93 Relocate easements along Moontown Road, Relocate sidewalk along Moontown Road			

DESIGNED BY:

CHECKED BY:

APPROVED BY:

DATE: _____

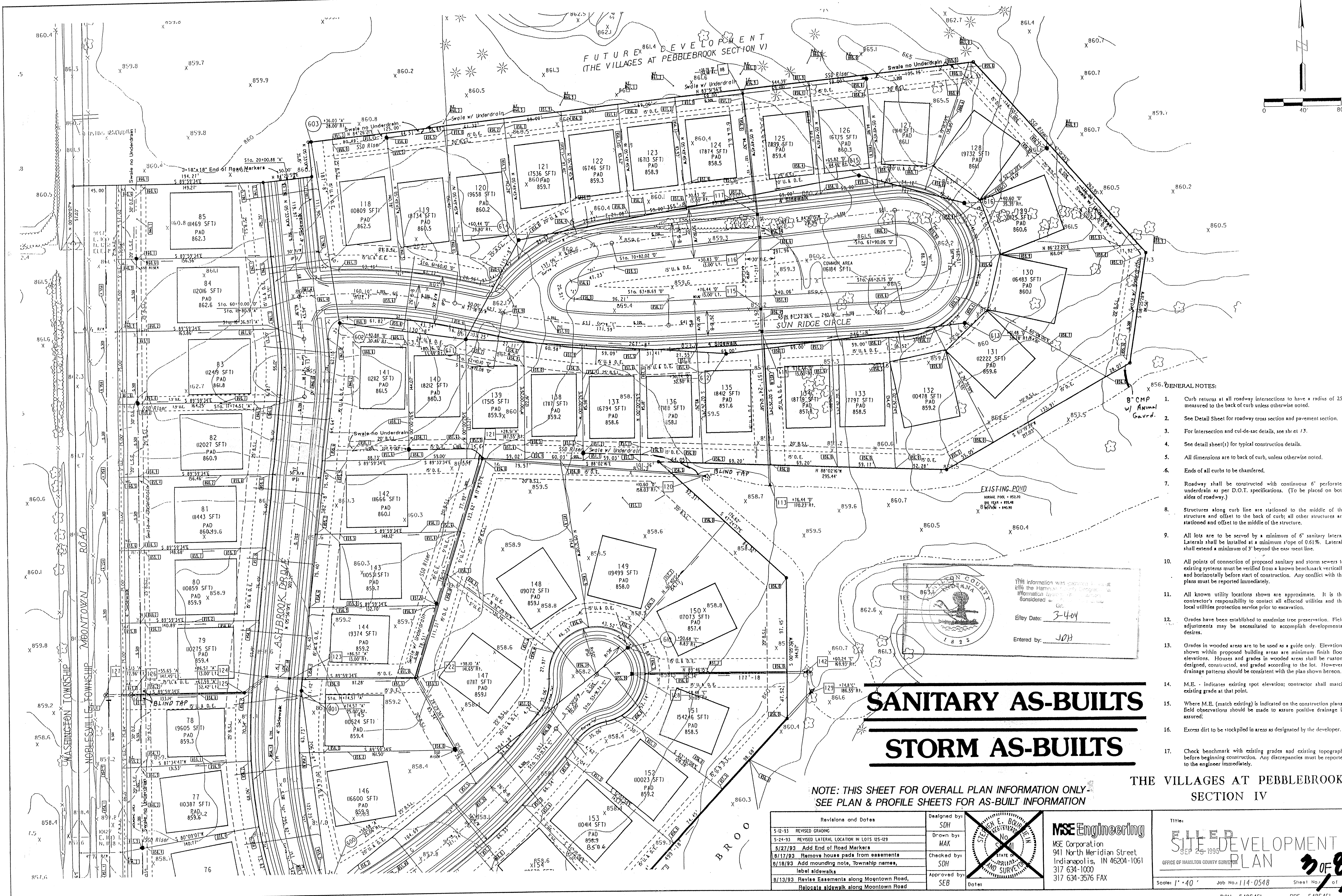
MSE Engineering
 MSE Corporation
 941 North Meridian Street
 Indianapolis, IN 46204-1061
 317 634-1000
 317 634-3576 FAX

Scale: 1" = 40'

Job No.: 14-0548

Sheet No. of 2

2019



- GENERAL NOTES:**
1. Curb returns at all roadway intersections to have a radius of 25' measured to the back of curb unless otherwise noted.
 2. See Detail Sheet for roadway cross section and pavement section.
 3. For Intersection and cul-de-sac details, see sheet 13.
 4. See detail sheet(s) for typical construction details.
 5. All dimensions are to back of curb, unless otherwise noted.
 6. Ends of all curbs to be chamfered.
 7. Roadway shall be constructed with continuous 6" perforated underdrain as per D.O.T. specifications. (To be placed on both sides of roadway.)
 8. Structures along curb line are stationed to the middle of the structure and offset to the back of curb; all other structures are stationed and offset to the middle of the structure.
 9. All lots are to be served by a minimum of 6" sanitary lateral. Laterals shall be installed at a minimum slope of 0.61%. Laterals shall extend a minimum of 3' beyond the easement line.
 10. All points of connection of proposed sanitary and storm sewers to existing systems shall be verified from a known benchmark vertically and horizontally before start of construction. Any conflict with the plans must be reported immediately.
 11. All known utility locations shown are approximate. It is the contractor's responsibility to contact all affected utilities and the local utilities protection service prior to excavation.
 12. Grades have been established to maximize tree preservation. Field adjustments may be necessitated to accomplish developmental desires.
 13. Grades in wooded areas are to be used as a guide only. Elevations shown within proposed building areas are minimum finish floor elevations. Houses and grades in wooded areas shall be custom designed, constructed, and graded according to the lot. However, drainage patterns should be consistent with the plan shown hereon.
 14. M.E. - Indicates existing spot elevation; contractor shall match existing grade at that point.
 15. Where M.E. (match existing) is indicated on the construction plans, field observations should be made to assure positive drainage is assured.
 16. Excess dirt to be stockpiled in areas as designated by the developer.
 17. Check benchmark with existing grades and existing topography before beginning construction. Any discrepancies must be reported to the engineer immediately.

Hamilton County, Indiana
 This information was prepared and filed in the Hamilton County Public Information System and is hereby considered a public record.
 Entry Date: 3-4-04
 Entered by: JPH

SANITARY AS-BUILTS

STORM AS-BUILTS

NOTE: THIS SHEET FOR OVERALL PLAN INFORMATION ONLY - SEE PLAN & PROFILE SHEETS FOR AS-BUILT INFORMATION

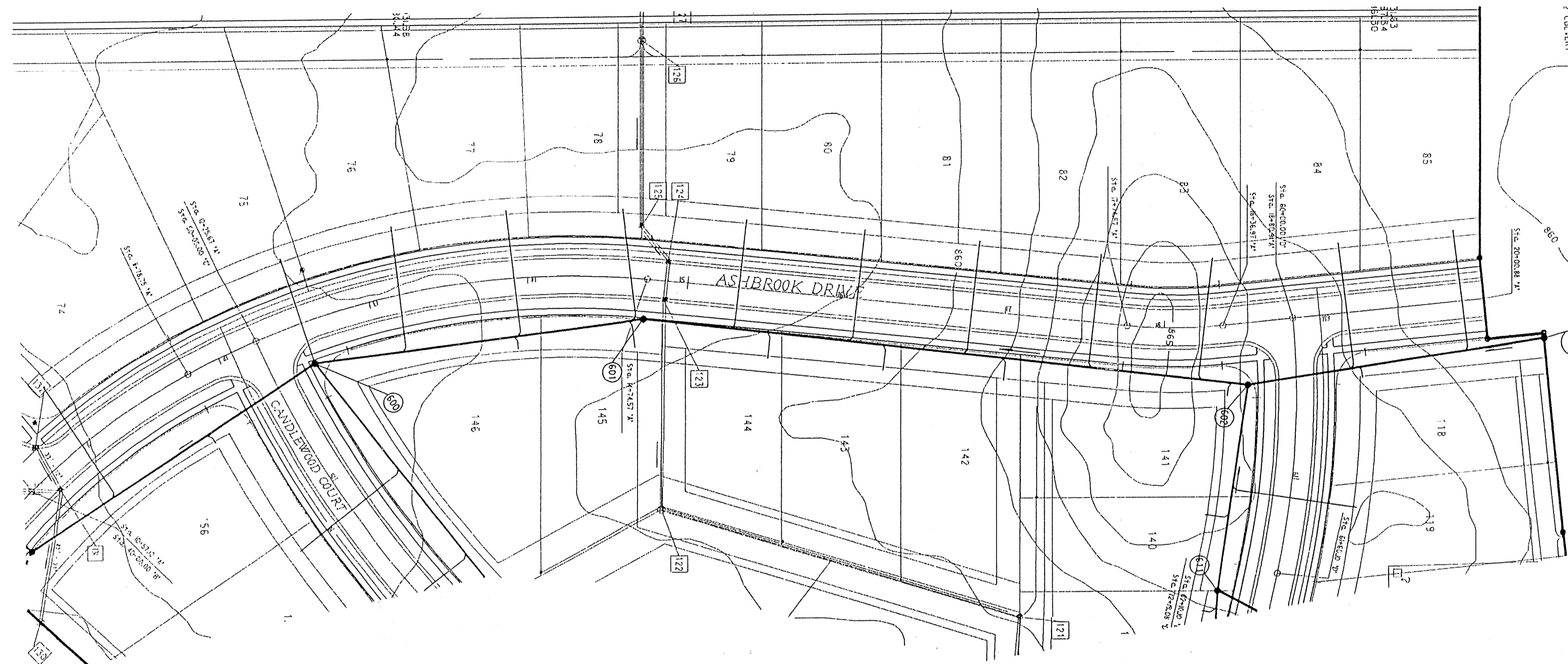
THE VILLAGES AT PEBBLEBROOK SECTION IV

Revisions and Dates	Designed by:
5-12-93 REVISED GRADING	SDH
5-24-93 REVISED LATERAL LOCATION IN LOTS 125-129	Drawn by:
5/27/93 Add End of Road Markers	MAK
6/17/93 Remove house pads from easements	Checked by:
6/18/93 Add mounding note, Township names, label sidewalks	SDH
6/13/93 Revise Easements along Mounctown Road, Relocate sidewalk along Mounctown Road	Approved by:
	SEB

Designed by: SDH
 Drawn by: MAK
 Checked by: SDH
 Approved by: SEB
 Date:

MSE Engineering
 MSE Corporation
 941 North Meridian Street
 Indianapolis, IN 46204-1061
 317 634-1000
 317 634-3576 FAX

Title: FILED SITE DEVELOPMENT PLAN
 SEP 25 1995
 OFFICE OF HAMILTON COUNTY SURVEYOR
 Scale: 1" = 40' Job No. 114-0548 Sheet No. 7 of 8
 DGN: 54854SI PRF: 54854SI



PLAN	DRAWN	DATE
NO. 1	P. J. T. D.	
NOTE BOOK	NO. 1	DATE
NO.		

PROFILE	DRAWN	DATE
NO. 1	P. J. T. D.	
NOTE BOOK	NO. 1	DATE
NO.		

NOTES:
 LENGTHS OF PIPES INDICATED ARE FROM CENTER TO CENTER OF STRUCTURES AND ARE NOT ACTUAL PIPE LENGTHS.
 CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PERMIT ISSUING AGENCIES WITHIN THE TIME FRAME SPECIFIED BY THAT AGENCY PRIOR TO BEGINNING CONSTRUCTION.

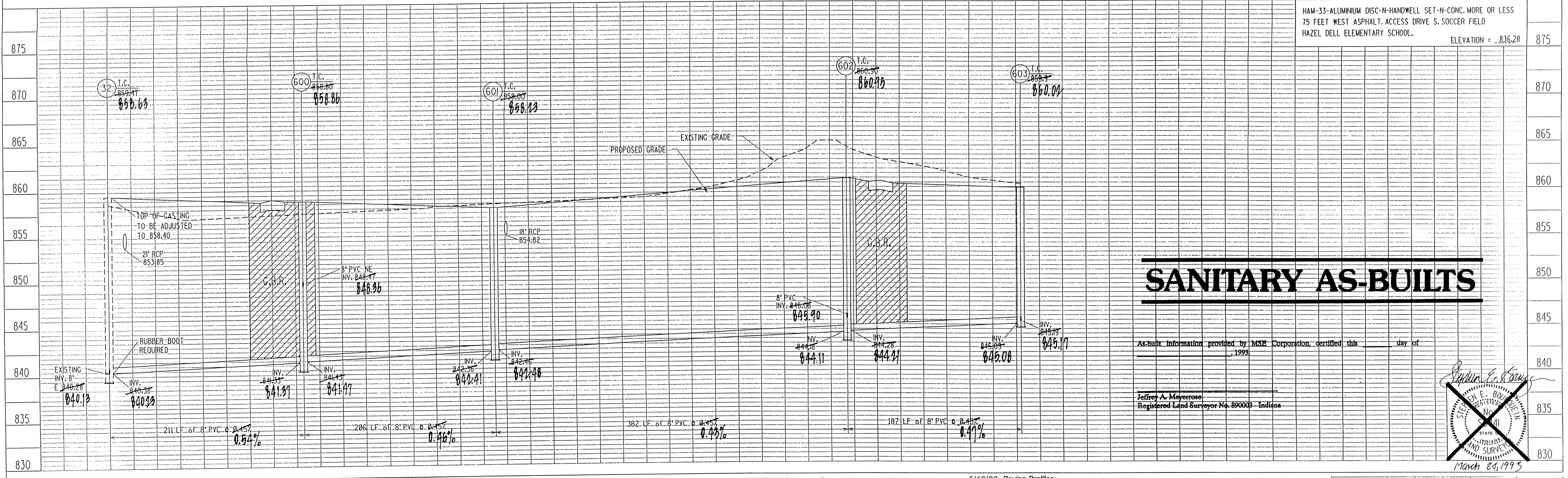


SCALE:
 PLAN: 1" = 50'
 PROFILE: 1" = 5'
 VERTICAL: 1" = 5'
 HORIZONTAL: 1" = 50'

PROFILE 'A' - ASHBROOK DRIVE

BENCH MARK DESCRIPTION

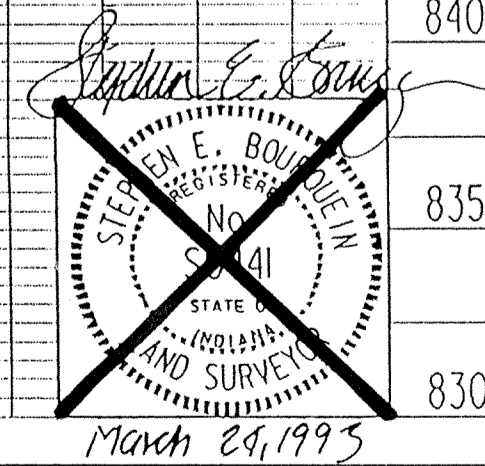
HAM-33-ALUMINIUM DISC-N-HANDWELL SET-N-CONC. MORE OR LESS 75 FEET WEST ASPHALT ACCESS DRIVE S. SOCCER FIELD HAZEL DELL ELEMENTARY SCHOOL.	ELEVATION = 836.28	875
---	--------------------	-----



SANITARY AS-BUILTS

As-built information provided by MSE Corporation, certified this _____ day of _____, 1993.

Jeffrey A. Meyerrose
 Registered Land Surveyor No. 89000 - Indiana



MSE Engineering

5/12/93 Revise Profiles

THE VILLAGES AT PEBBLEBROOK
 SECTION IV

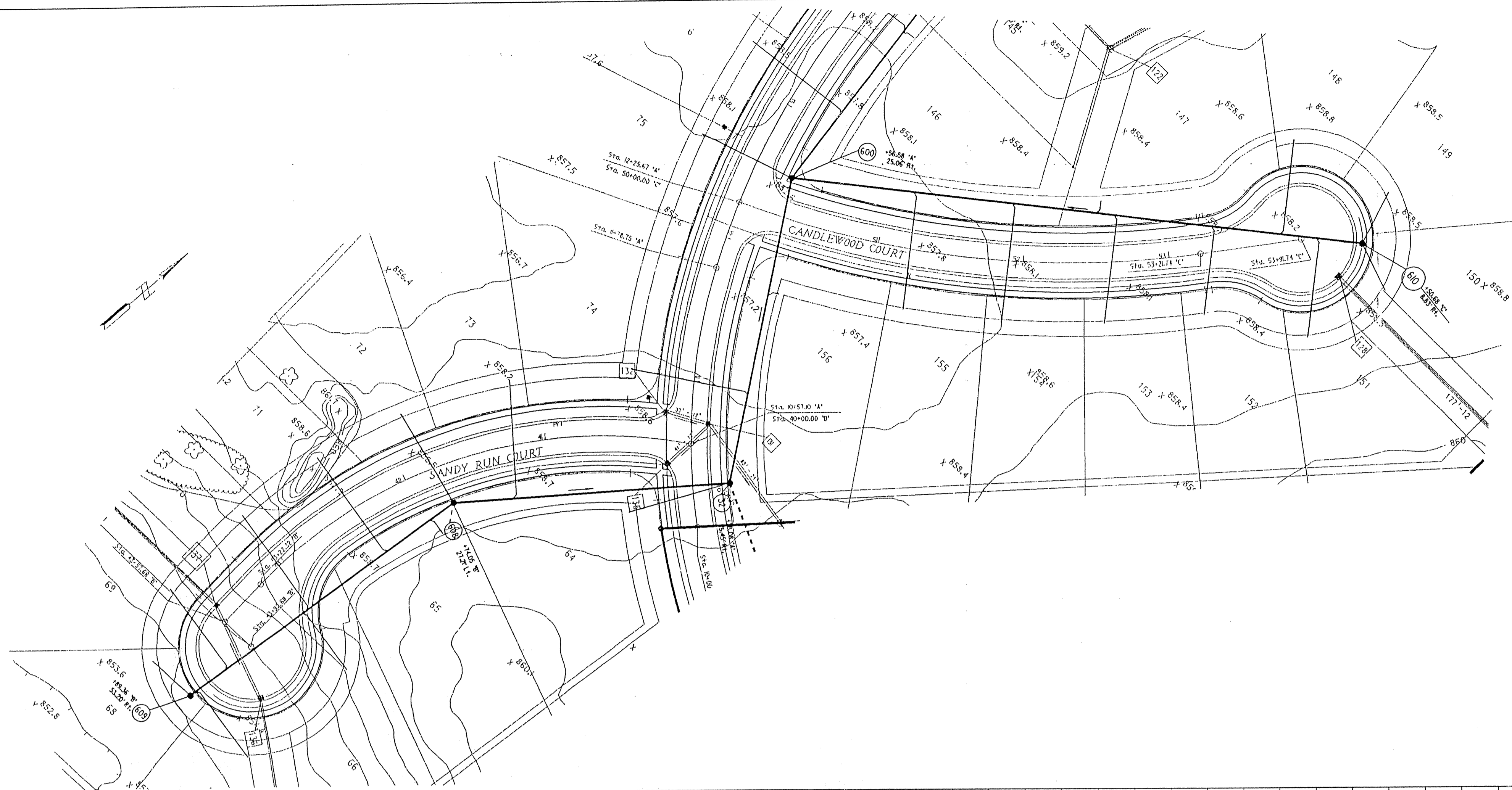
PROJECT NO.	LINE	SHEET NO.	TOTAL SHEETS	DATE	PRJ
B4-0548	A	1	1	5/8/93	5485482

FILED
 SEP 25 1995
 OFFICE OF HAMILTON COUNTY SURVEYOR

4 of 8
 SANITARY PLAN & PROFILES

P_AN	DATE
REVISED	
ALIGNED	
NOTE BOOK	
NO.	

PROFILE	DATE
REVISED	
ALIGNED	
NOTE BOOK	
NO.	



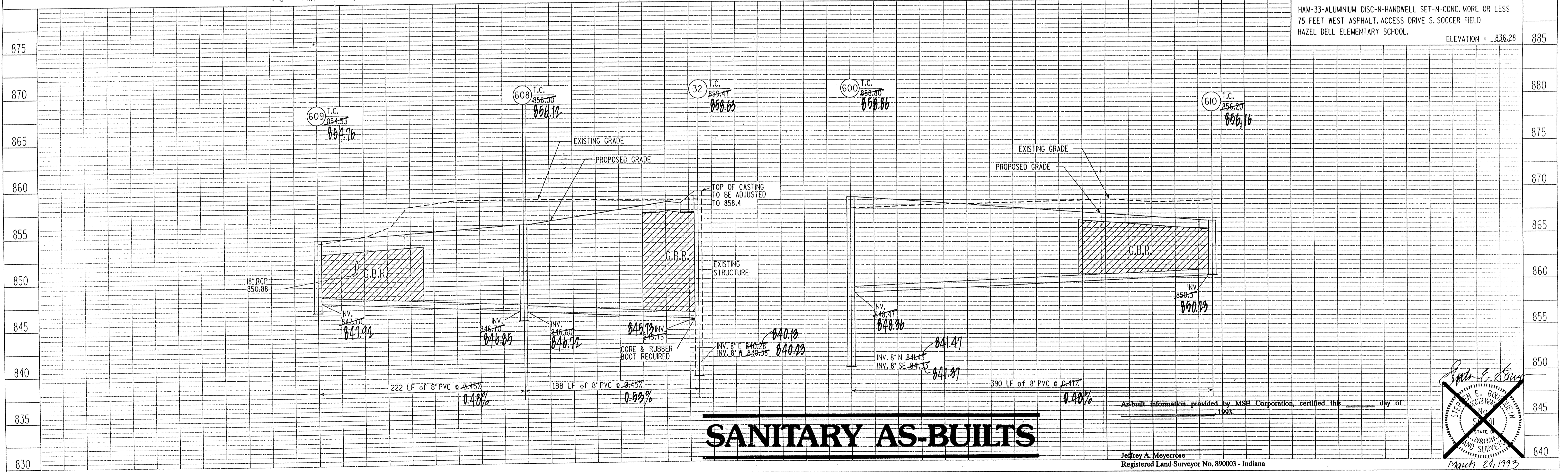
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SCALE:
 PLAN: 1" = 50'
 PROFILE: 1" = 5'
 HORIZONTAL: 1" = 50'

BENCH MARK DESCRIPTION

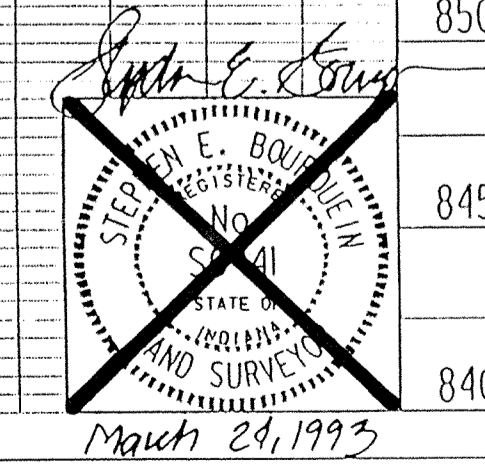
HAM-33-ALUMINUM DISC-N-HANDWELL SET-N-CONC. MORE OR LESS 75 FEET WEST ASPHALT. ACCESS DRIVE S. SOCCER FIELD HAZEL DELL ELEMENTARY SCHOOL. ELEVATION = 836.28



SANITARY AS-BUILTS

As-built information provided by MSE Corporation, certified the _____ day of _____, 1993.

Jeffrey A. Meyerrose
 Registered Land Surveyor No. 890003 - Indiana



MSE Engineering

5/12/93 Revise Profiles

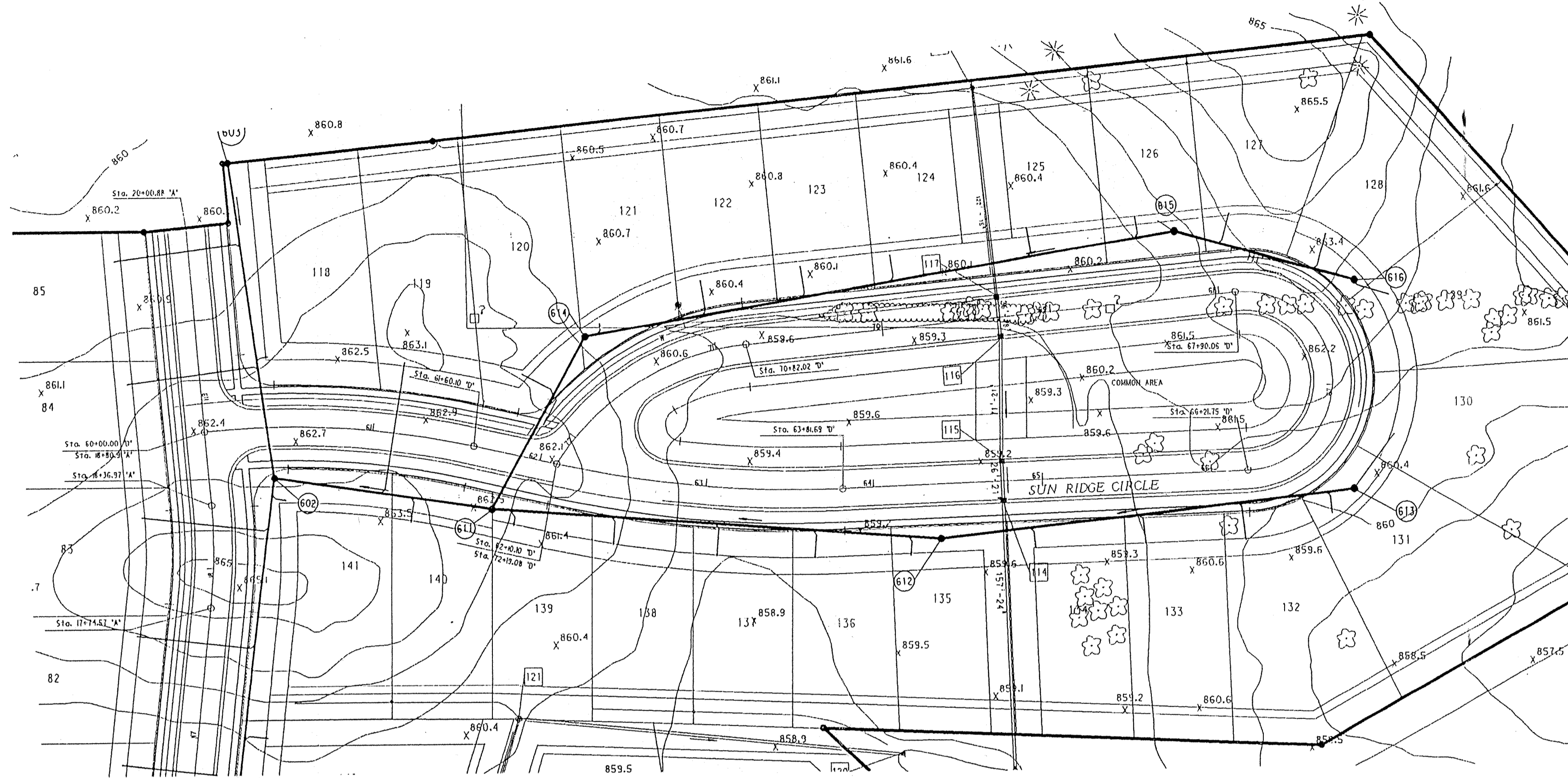
THE VILLAGES AT PEBBLEBROOK
 SECTION IV

PROJECT NO.	LINE	SHEET NO.	TOTAL SHEETS	DGN	PRF
04-0548	B & C	7	7	548545A1	548545A1

FILED 5 OF 8
 SEP 25 1995
 OFFICE OF HAMILTON COUNTY SURVEYOR

DATE	
BY	
PROJECT	
PROPOSED	
NOTED	
NOTE BOOK	
NO.	

DATE	
BY	
PROJECT	
PROPOSED	
NOTED	
NOTE BOOK	
NO.	



NOTES:
 LENGTHS OF PIPES INDICATED ARE FROM CENTER TO CENTER OF STRUCTURES AND ARE NOT ACTUAL PIPE LENGTHS.
 CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PERMIT ISSUING AGENCIES WITHIN THE TIME FRAME SPECIFIED BY THAT AGENCY PRIOR TO BEGINNING CONSTRUCTION.

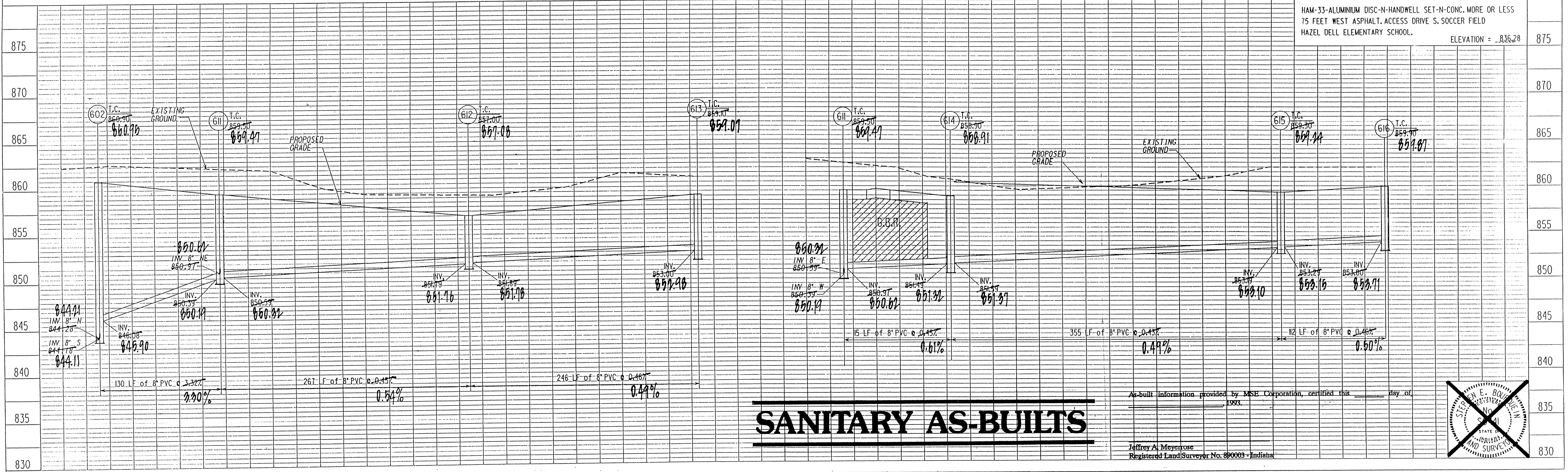


SCALE:
 PLAN: 1" = 50'
 PROFILE: 1" = 5'
 VERTICAL: 1" = 5'
 HORIZONTAL: 1" = 50'

PROFILE 'D' & 'E'

BENCH MARK DESCRIPTION

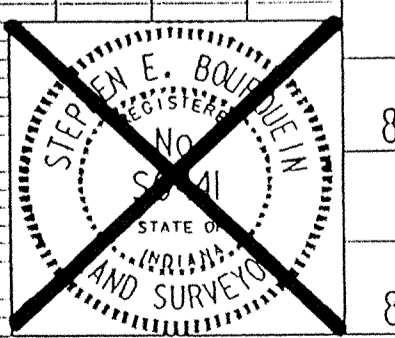
HAM-33-ALUMINUM DISC-N-HANDWELL SET-N-CONC. MORE OR LESS 75 FEET WEST ASPHALT ACCESS DRIVE S. SOCCER FIELD HAZEL DELL ELEMENTARY SCHOOL. ELEVATION = 836.28



SANITARY AS-BUILTS

As-built information provided by MSE Corporation, certified this 1993 day of

Jeffrey A. Meyerrose
 Registered Land Surveyor No. 890003 - Indiana



MSE Engineering

5/12/93 REVISE PROFILES
 5/24/93 REVISE LATERAL LOCATIONS IN LOTS 125-129

THE VILLAGES AT PEBBLEBROOK
 SECTION IV

PROJECT NO.	LINE	SHEET NO.	TOTAL SHEETS	DCN	PIF#
14-0548	D & E	1	1	548545A3	548545A3

FILED

SEP 25 1995

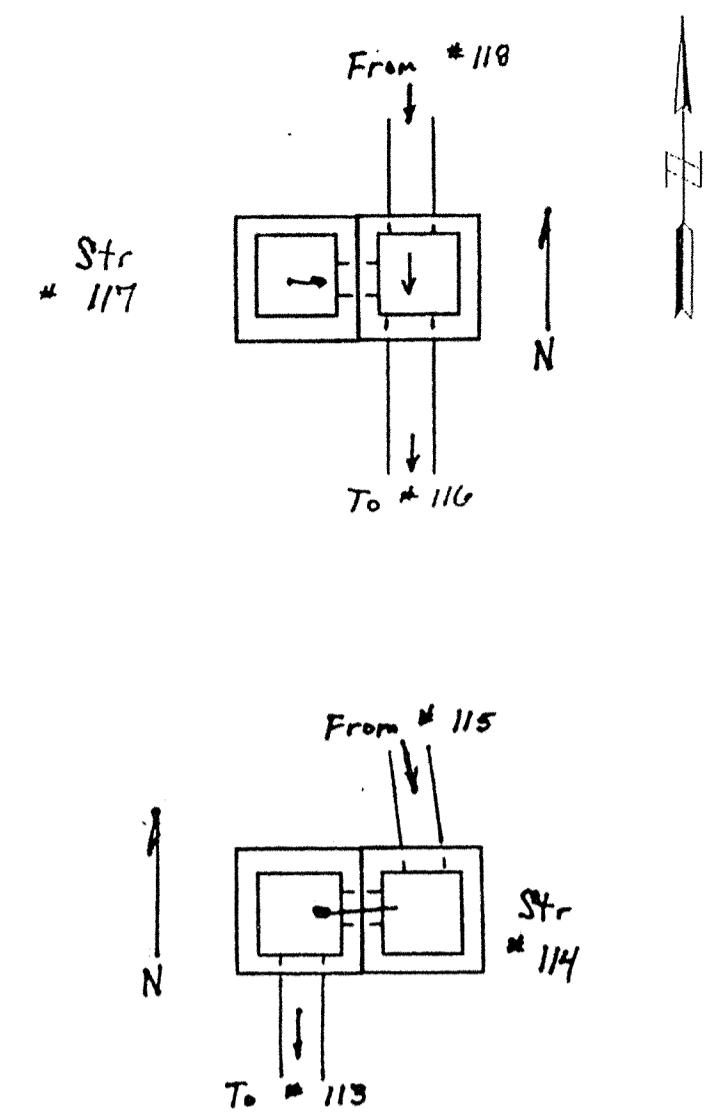
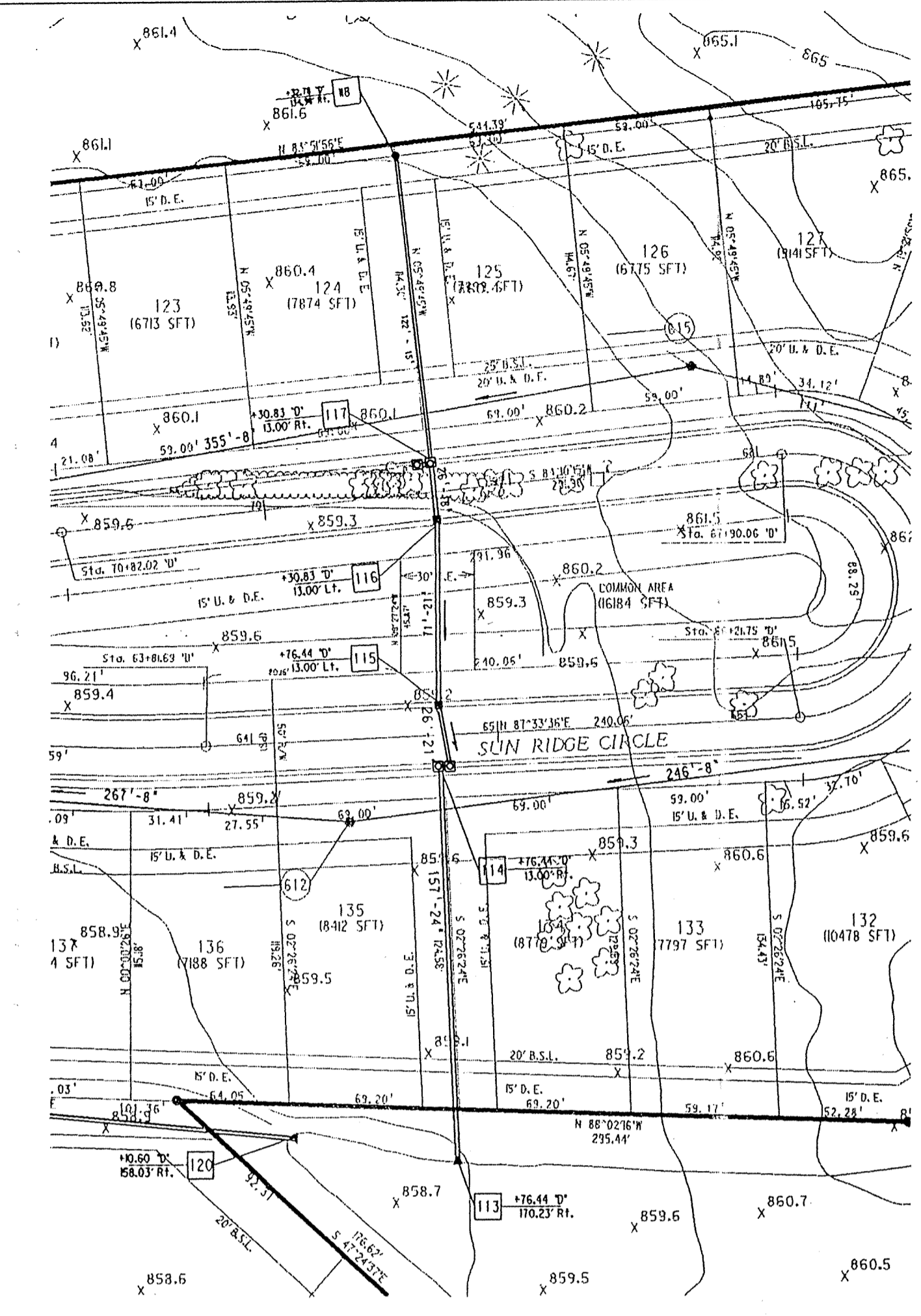
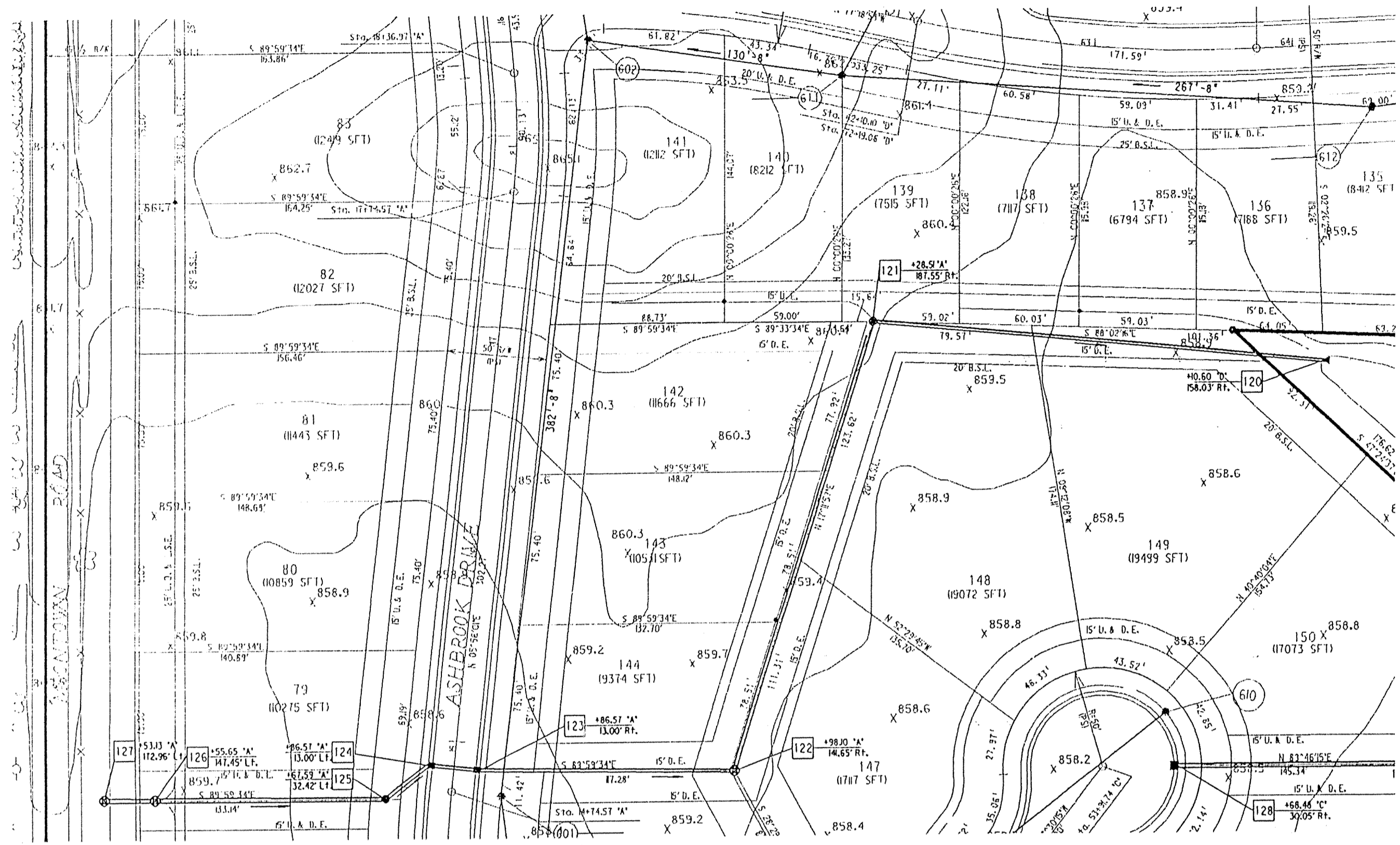
OFFICE OF HAMILTON COUNTY SURVEYOR

60-8

SANITARY PLAN & PROFILES

PLAN
 SURVEYED AND PLATTED
 NOTE BOOK NO. 1000
 DATE 10/20/93

PROFILE
 SURVEYED AND PLATTED
 NOTE BOOK NO. 1000
 DATE 10/20/93



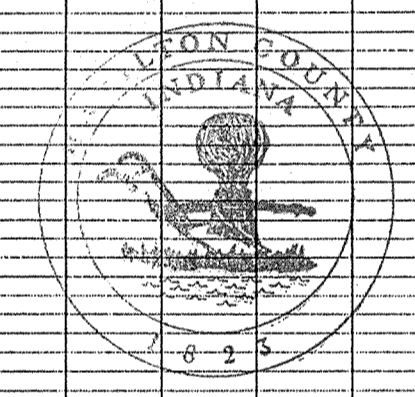
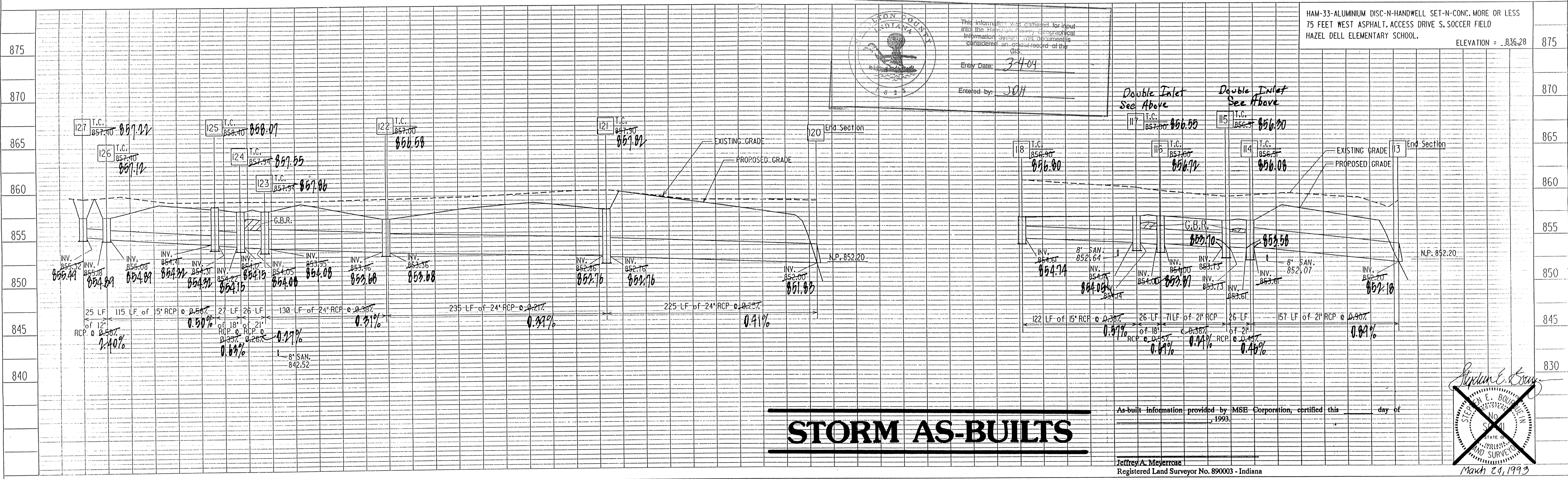
NOTES:
~~LENGTHS OF PIPES INDICATED ARE FROM CENTER TO CENTER OF STRUCTURES AND ARE NOT ACTUAL PIPE LENGTHS.~~
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GRANULAR BACKFILL REQUIRED
 G.B.R.

SCALE:
 PLAN: 1" = 50'
 PROFILE: 1" = 5'
 VERTICAL: 1" = 5'
 HORIZONTAL: 1" = 50'

BENCH MARK DESCRIPTION

HAM-33-ALUMINUM DISC-N-HANDWELL SET-N-CONC. MORE OR LESS 75 FEET WEST ASPHALT ACCESS DRIVE S. SOCCER FIELD HAZEL DELL ELEMENTARY SCHOOL. ELEVATION = 836.28

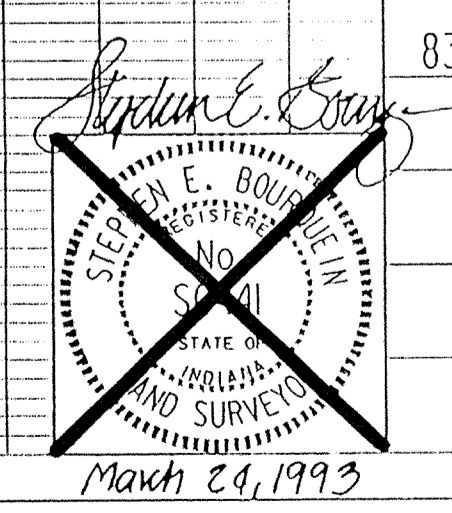


This information was gathered for input into the Hamilton County Geographical Information System. These documents are considered an official record of the GIS.
 Entry Date: 3-4-04
 Entered by: JMH

Double Inlet See Above
 Double Inlet See Above

As-built information provided by MSE Corporation, certified this day of 1993.

Jeffrey A. Mejerros
 Registered Land Surveyor No. 890003 - Indiana



MSE Engineering

4-93 Add Storm Run 128-142
 4-1-93 Revise pipe between 125 - 126 to 15'
 5/12/93 Revise Profiles
 9/20/95 Rev: Double Inlet shown on plans

THE VILLAGES AT PEBBLEBROOK
 SECTION IV

PROJECT NO.	LINE	SHEET	TOTAL SHEETS	DGN	PDF
E4-0548		7	8	54854512	54854512

FILED
 SEP 25 1995
 OFFICE OF HAMILTON COUNTY SURVEYOR
 STORM PLAN & PROFILES

PLAN
 ENGINEER
 CHECKED
 DATE
 NOTE BOOK NO. DRAWN CHECKED
 NO. DATE

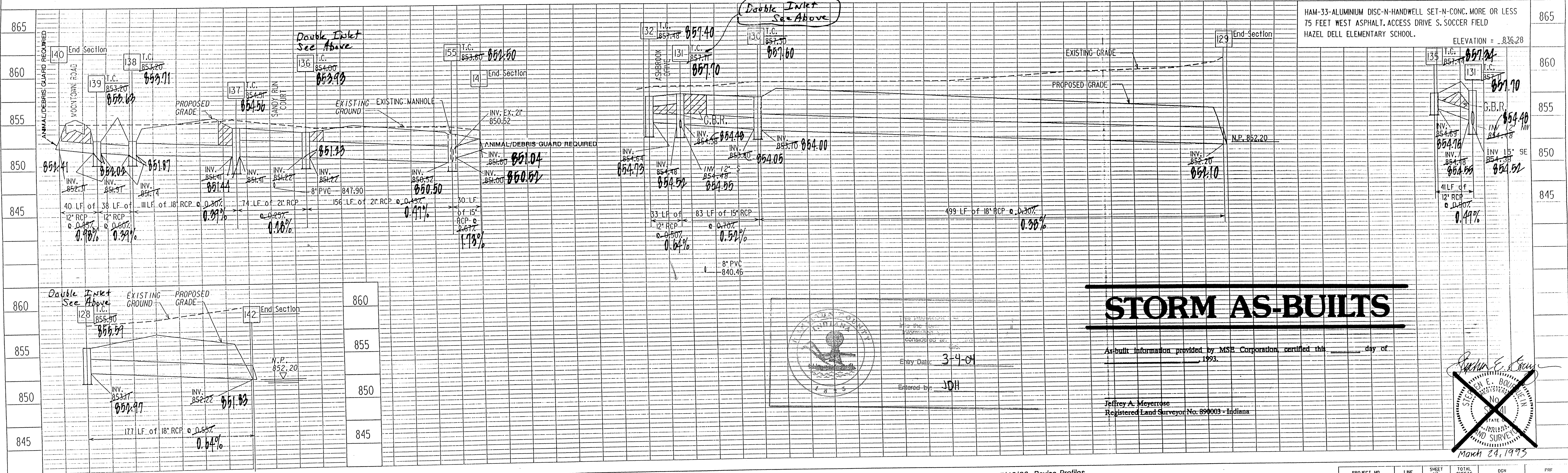


NOTES:
 RADIUS OF PIPES INDICATED ARE FROM CENTER TO CENTER OF STRUCTURES AND ARE NOT ACTUAL PIPE LENGTHS.
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 GRANULAR BACKFILL REQUIRED

SCALE:
 PLAN: 1" = 50'
 PROFILE: 1" = 5'
 VERTICAL: 1" = 5'
 HORIZONTAL: 1" = 50'

BENCH MARK DESCRIPTION

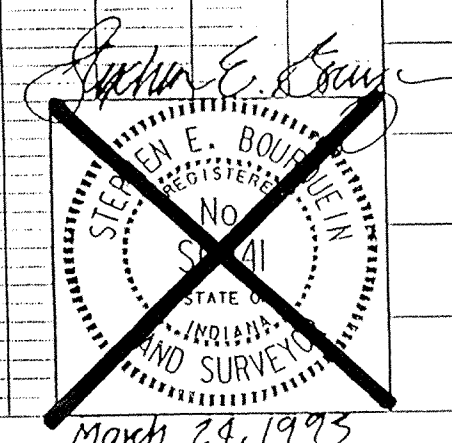
HAM-33-ALUMINUM DISC-N-HANDWELL SET-N-CONC. MORE OR LESS 75 FEET WEST ASPHALT. ACCESS DRIVE S. SOCCER FIELD HAZEL DELL ELEMENTARY SCHOOL. ELEVATION = 836.28



STORM AS-BUILTS

As-built information provided by MSE Corporation certified this 3-4-01 day of 1993.

Jeffrey A. Meyerdsch
 Registered Land Surveyor No. 890003 - Indiana



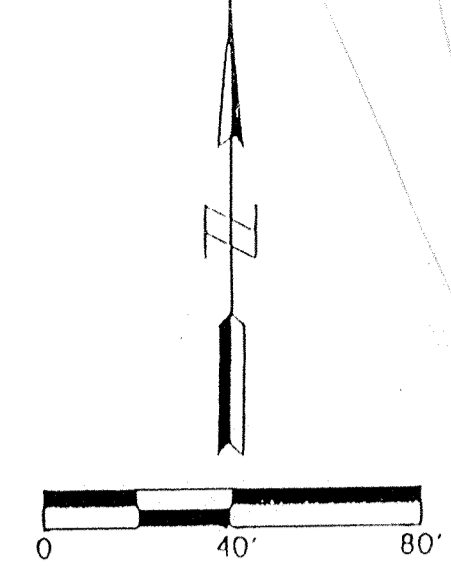
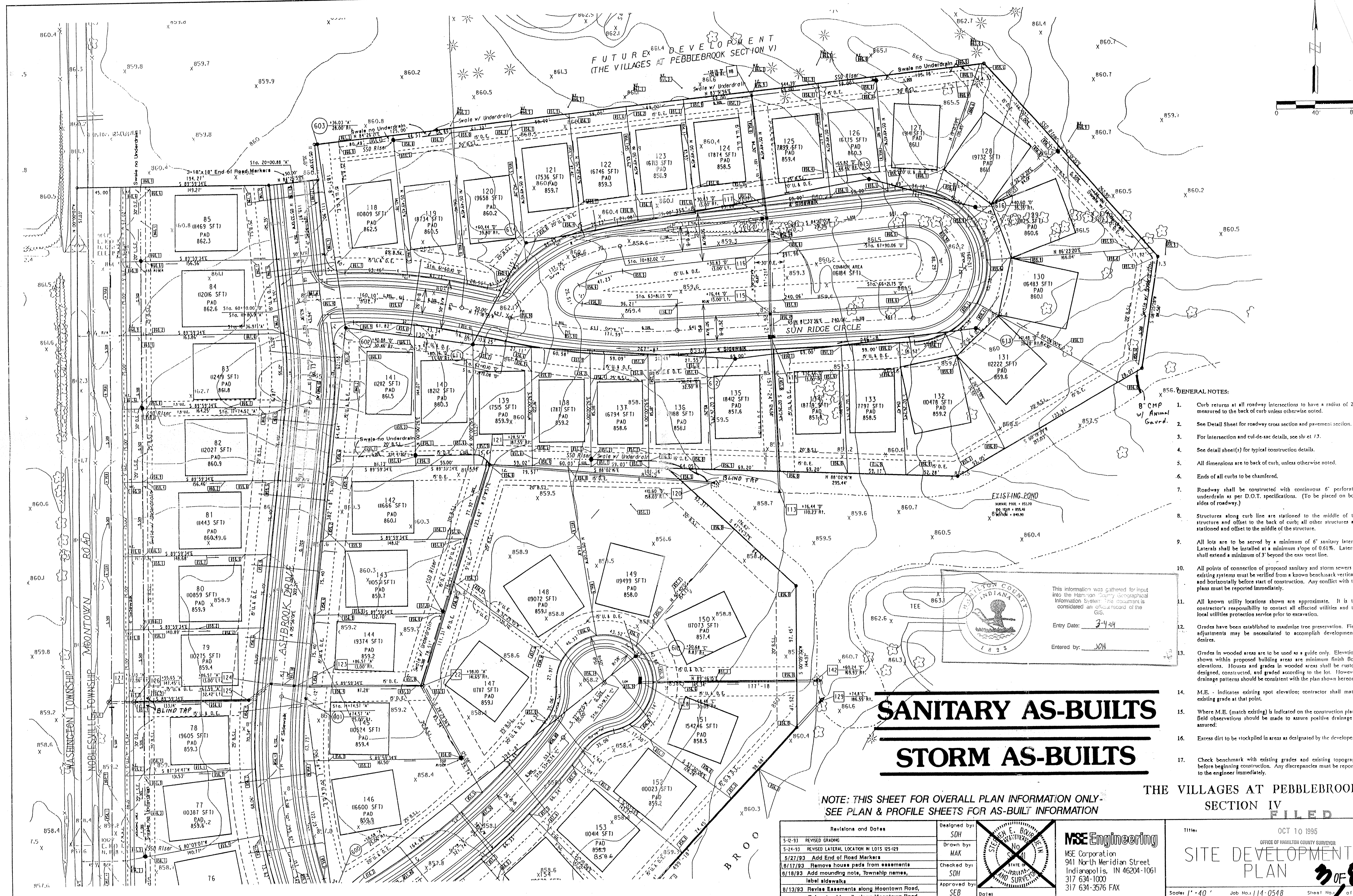
MSE Engineering

5112193-Revise Profiles
 9/21/95 Rev. double
 inlets shown
 on plans

THE VILLAGES AT PEBBLEBROOK
 SECTION IV

PROJECT NO.	LINE	SHEET NO.	TOTAL SHEETS	DNH	PRF
M-0548	7	140	140	5485411	5485411

6/17/93 Animal/Debris guard for str. 140
FILED
 SEP 25 1995
 OFFICE OF HAMILTON COUNTY SURVEYOR



- GENERAL NOTES:**
1. Curb returns at all roadway intersections to have a radius of 25', measured to the back of curb unless otherwise noted.
 2. See Detail Sheet for roadway cross section and pavement section.
 3. For Intersection and cul-de-sac details, see sheet 73.
 4. See detail sheet(s) for typical construction details.
 5. All dimensions are to back of curb, unless otherwise noted.
 6. Ends of all curbs to be chamfered.
 7. Roadway shall be constructed with continuous 6" perforated underdrain as per D.O.T. specifications. (To be placed on both sides of roadway.)
 8. Structures along curb line are stationed to the middle of the structure and offset to the back of curb; all other structures are stationed and offset to the middle of the structure.
 9. All lots are to be served by a minimum of 6" sanitary lateral. Laterals shall be installed at a minimum slope of 0.61%. Laterals shall extend a minimum of 3' beyond the easement line.
 10. All points of connection of proposed sanitary and storm sewers to existing systems must be verified from a known benchmark vertically and horizontally before start of construction. Any conflict with the plans must be reported immediately.
 11. All known utility locations shown are approximate. It is the contractor's responsibility to contact all effected utilities and the local utilities protection service prior to excavation.
 12. Grades have been established to maximize tree preservation. Field adjustments may be necessitated to accomplish developmental desires.
 13. Grades in wooded areas are to be used as a guide only. Elevations shown within proposed building areas are minimum finish floor elevations. Houses and grades in wooded areas shall be custom designed, constructed, and graded according to the lot. However, drainage patterns should be consistent with the plan shown hereon.
 14. M.E. - Indicates existing spot elevation; contractor shall match existing grade at that point.
 15. Where M.E. (match existing) is indicated on the construction plans, field observations should be made to assure positive drainage is assured.
 16. Excess dirt to be stockpiled in areas as designated by the developer.
 17. Check benchmark with existing grades and existing topography before beginning construction. Any discrepancies must be reported to the engineer immediately.

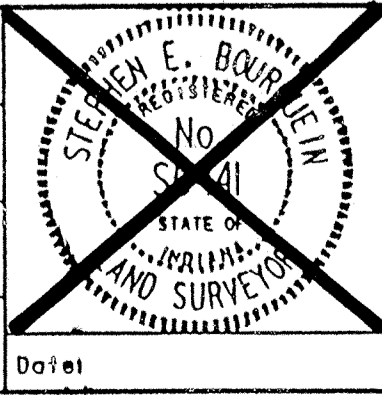
SANITARY AS-BUILTS

STORM AS-BUILTS

NOTE: THIS SHEET FOR OVERALL PLAN INFORMATION ONLY -
SEE PLAN & PROFILE SHEETS FOR AS-BUILT INFORMATION

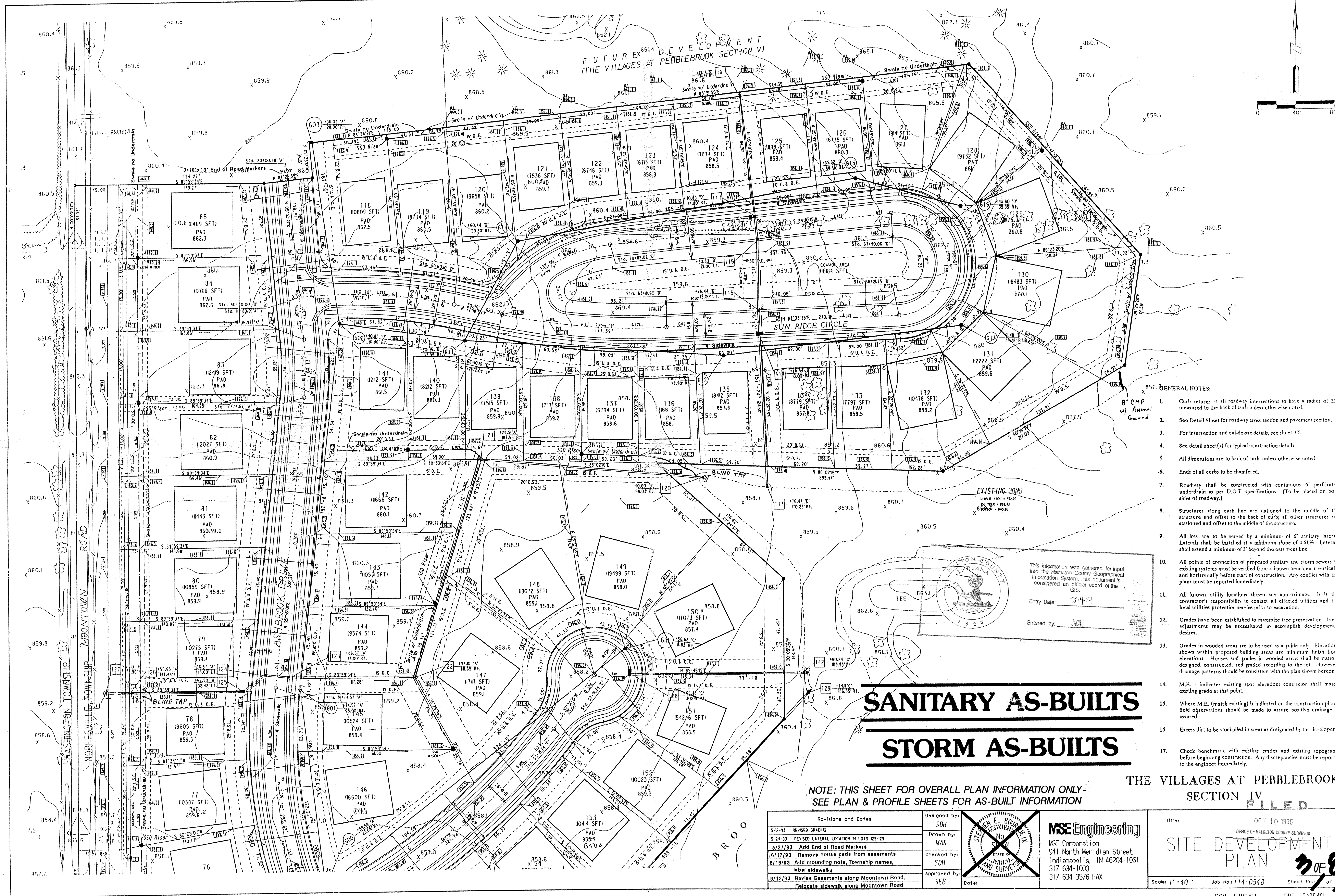
THE VILLAGES AT PEBBLEBROOK
SECTION IV **FILED**

Revisions and Dates	Designed by:
5-12-93 REVISED GRADING	SDH
5-24-93 REVISED LATERAL LOCATION IN LOTS 125-129	Drawn by:
5/27/93 Add End of Road Markers	MAK
8/17/93 Remove house pads from easements	Checked by:
9/18/93 Add mounding note, Township names, label sidewalks	SDH
8/13/93 Revise easements along Mootown Road, Relocate sidewalk along Mootown Road	Approved by:
	SEB



MSE Engineering
MSE Corporation
941 North Meridian Street
Indianapolis, IN 46204-1061
317 634-1000
317 634-3576 FAX

Title: **SITE DEVELOPMENT PLAN**
OCT 10 1995
OFFICE OF HAMILTON COUNTY SURVEYOR
Scale: 1" = 40' Job No. 114-0548 Sheet No. 3 of 8



- GENERAL NOTES:**
1. Curb returns at all roadway intersections to have a radius of 25' measured to the back of curb unless otherwise noted.
 2. See Detail Sheet for roadway cross section and pavement section.
 3. For intersection and cul-de-sac details, see sheet 13.
 4. See detail sheet(s) for typical construction details.
 5. All dimensions are to back of curb, unless otherwise noted.
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SANITARY AS-BUILTS

STORM AS-BUILTS

NOTE: THIS SHEET FOR OVERALL PLAN INFORMATION ONLY - SEE PLAN & PROFILE SHEETS FOR AS-BUILT INFORMATION

THE VILLAGES AT PEBBLEBROOK
SECTION IV
FILED

Revisions and Dates	Designed by
5-12-93 REVISED GRADING	SDH
5-24-93 REVISED LATERAL LOCATION IN LOTS 125-129	Drawn by
5/27/93 Add End of Road Markers	MAK
6/17/93 Remove house pads from easements	Checked by
6/18/93 Add mounding note, Township names, label sidewalks	SDH
8/13/93 Revise Easements along Moontown Road, Relocate sidewalks along Moontown Road	Approved by
	SEB

Drawn by: SDH
 Checked by: SDH
 Approved by: SEB
 Date:

MSE Engineering
 MSE Corporation
 941 North Meridian Street
 Indianapolis, IN 46204-1061
 317 634-1000
 317 634-3576 FAX

Title: **SITE DEVELOPMENT PLAN**
 Date: OCT 10 1995
 OFFICE OF HAMILTON COUNTY SURVEYOR
 Scale: 1" = 40' Job No.: 114-0548 Sheet No.: 3 of 8
 DGN: 54854SI PRF: 54854SI